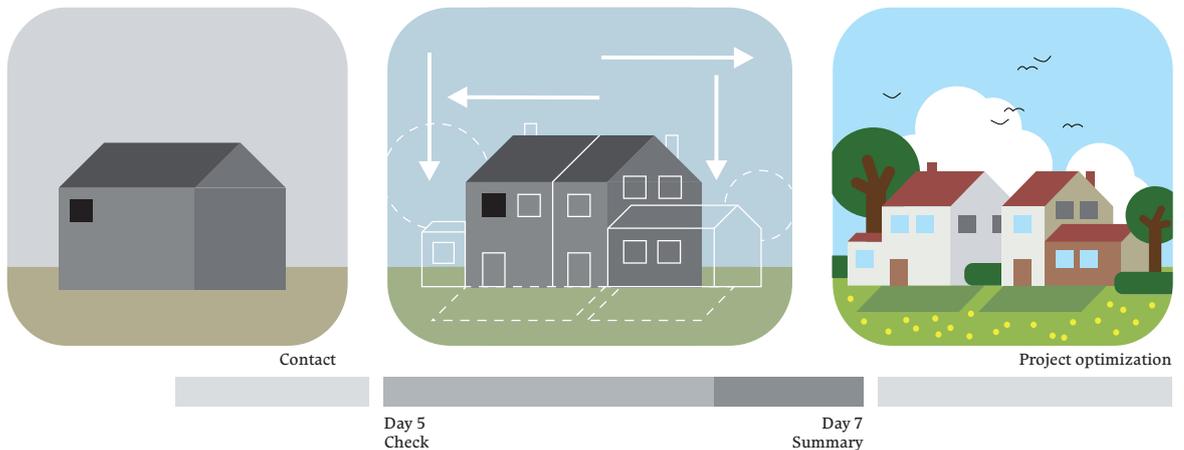


Urban Optimisation

You are a developer or architect and working on developing a large tract of land. You wish to better utilize the land resource, but this is usually tied in with increased demands that have to be met.

It is important that the project is approved with the first building submission. A project rework is time consuming and can take up to six months before it could be submitted for approval again. You have already invested a lot of time and financial resources. How can you keep your risks down to a minimum?

At SEILER & SEILER we check if your building project makes full use of its potential and meets the qualitative demands. We also provide suggestions for optimising your project. The urban optimisation takes between five and seven working days.



We meet to discuss your project. You receive an initial feedback within five working days. Two working days later the urban optimisation process is concluded with suggestions for optimisation.

You rework your project and submit your plans for approval.

- The earlier you get it to us the better it will be as well as more cost efficient. In the early stages of a project there is more room to incorporate qualitative aspects into the project. A well designed plan not only has a better chance to be approved, it also has a better chance for success on the market than an average project.
- The urban optimisation comprises an initial short check followed by our findings. The short check gives insight into the optimisation potential and qualitative aspects, while the wrap-up provides a roadmap for potential optimisation.
- The urban optimisation includes a report on how the project ties in with the townscape, the building and landscaping environment, the flow of the design, the location / purpose and design of the free space.
- We could accompany you to a meeting with the planning authorities if you wish, or we could consult you during the project revision.
- The urban optimisation process takes from five to seven days and costs between CHF 4'000 – CHF 7'000.